

INSPECTION REPORT



For the Property at:
8309 NORTHWEST 123RD
PARKLAND, FL 33076

Prepared for: SAMPLE REPORT
Inspection Date: Friday, August 28, 2020
Prepared by: RONALD GLADDEN, HI12801



GGR Home Inspections
Reliable Affordable Quick
Pembroke Pines, FL 33029
305-908-7050

www.ggrhomeinspections.com
info@ggrhomeinspections.com



November 5, 2020

Dear Sample Report,

RE: Report No. 1055
8309 Northwest 123rd
Parkland, FL
33076

Thanks very much for choosing GGR Home Inspections to perform your home inspection. The inspection itself and the attached report comply with the requirements of the InterNACHI Standards of Practice. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the InterNACHI Standards of Practice so that you clearly understand what things are included in the home inspection and report.

https://www.nachi.org/documents2012/InterNACHI_SOP_and_COE-March_2018.pdf

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

RONALD GLADDEN
on behalf of
GGR Home Inspections

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SUMMARY

8309 Northwest 123rd, Parkland, FL August 28, 2020

Report No. 1055

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOFING \ Clay/concrete/fiber cement

Condition: • [Leak](#)

Roof decking and rafter was wet during the inspection. Possible roof leak. Recommend further evaluation be conducted by a licensed roofing contractor.

Location: Southeast Side Attic

Task: Repair Further evaluation

Time: Immediate

Condition: • [Exposed fasteners](#)

Exposed fasteners on the detached garage. Recommend sealing to keep water from deteriorating the fasteners faster than normal.

Location: Detached Garage

Task: Improve

Time: Soon as possible

Structure

ROOF FRAMING \ Rafters/trusses

Condition: • Wasp nest observed in the attic. Recommend removal.

Location: Southeast Attic

Task: Remove

Time: Immediate

Condition: • Observed T-bracing installed on trusses. Installation does not appear to be correct. No contact made on each end of the T-Brace/Trusses between the rafter and the ceiling joint. Recommend requesting disclosure for when and why T-Bracing was installed and further evaluation by a licensed roof to confirm installation is correct.

Location: Attic

Task: Request disclosure

Time: Immediate

Electrical

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Missing](#)

Missing covers, recommend replacing to remove risk for electrical shock/fire hazard.

Location: Utility Room

Task: Replace

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Time: Immediate

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Electrical cords are exposed to water intrusion. Recommend seeking a more permanent solution for the wiring to be protected. Seek assistance of an licensed electrician if needed for evaluation.

Implication(s): Fire Hazard

Task: Improve

Time: Immediate

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Missing

Recommend replacing missing smoke alarms. Safety issue.

Location: First Floor Kitchen

Task: Replace

Time: Immediate

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • None observed

Location: Throughout

Task: Improve

Time: Discretionary

Cooling & Heat Pump

AIR CONDITIONING \ General notes

Condition: • Service air conditioner

Recommend servicing ac units. Dirt/debris building on the units.

Task: Service

Time: Regular maintenance

AIR CONDITIONING \ Evaporator coil

Condition: • [Dirty](#)

2nd Floor Air Handler: Inside of unit is dirty and has presence of microbiological growth. Recommend cleaning, servicing and regular maintenance be conducted annually.

Location: Second Floor

Task: Service Clean

Time: Immediate

Condition: • [Dirty](#)

1st Floor Air Handler: Inside of unit is dirty and has presence of microbiological growth. Recommend cleaning, servicing and regular maintenance be conducted annually.

Location: First Floor

Task: Service Clean

Time: As soon as possible

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Plumbing

SUPPLY PLUMBING \ Water shut off valve

Condition: • [Leak](#)

Water meter may have a leak, area around the meter are dry while the corner of the meter has a wet area. Recommend monitoring and further evaluation.

Location: Left Side Driveway

Task: Further evaluation

Time: As soon as possible

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

Condition: • [Leak or drip](#)

Bib is leaking. Recommend repair/replacement.

Location: Southeast Exterior Wall

Task: Repair or replace

Time: As soon as possible

Condition: • [Backflow prevention missing](#)

Recommend installing anti-syphon filter to prevent back flow into plumbing system.

Location: Throughout Exterior Wall

Task: Improve

Time: Discretionary

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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General: • The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Sloped roofing material:

- [Concrete tile](#)



1. The home inspector shall observe: Roof...



2. Concrete tile



3. Concrete tile



4. Concrete tile

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5. Concrete tile



6. Concrete tile



7. Concrete tile



8. Concrete tile

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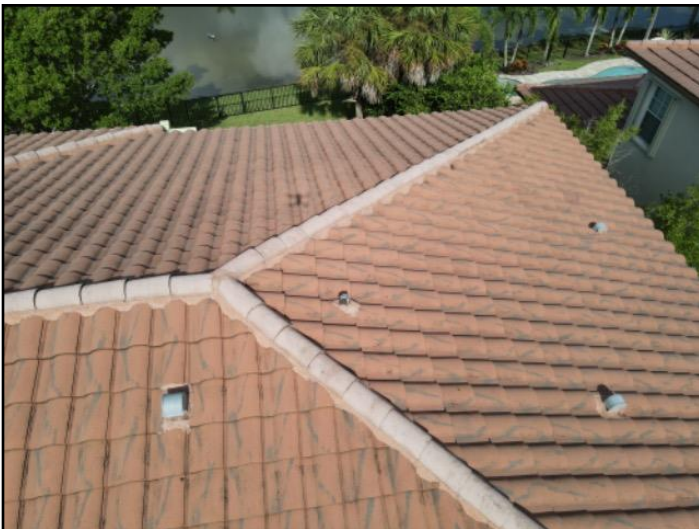
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9. Concrete tile



10. Concrete tile



11. Concrete tile



12. Concrete tile

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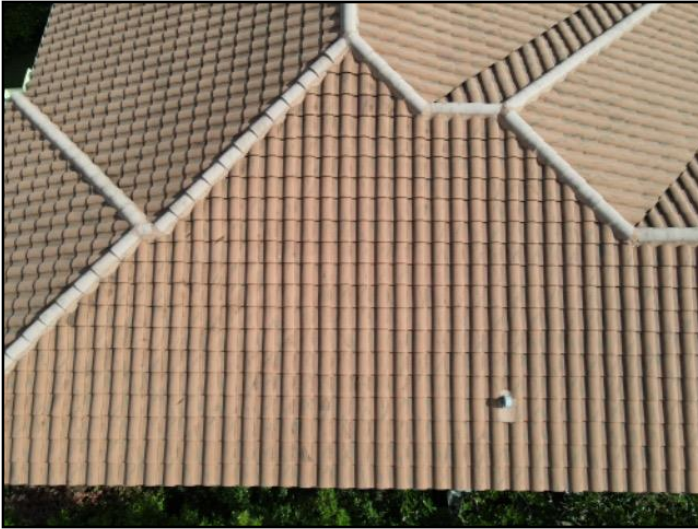
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13. Concrete tile



14. Concrete tile



15. Concrete tile



16. Concrete tile

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17. Concrete tile

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • From the ground • With a drone

Age determined by: • City Permits - 14 Years Old

Recommendations

SLOPED ROOFING \ Clay/concrete/fiber cement

Condition: • [Leak](#)

Roof decking and rafter was wet during the inspection. Possible roof leak. Recommend further evaluation be conducted by a licensed roofing contractor.

Location: Southeast Side Attic

Task: Repair Further evaluation

Time: Immediate

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18. Leak



19. Leak

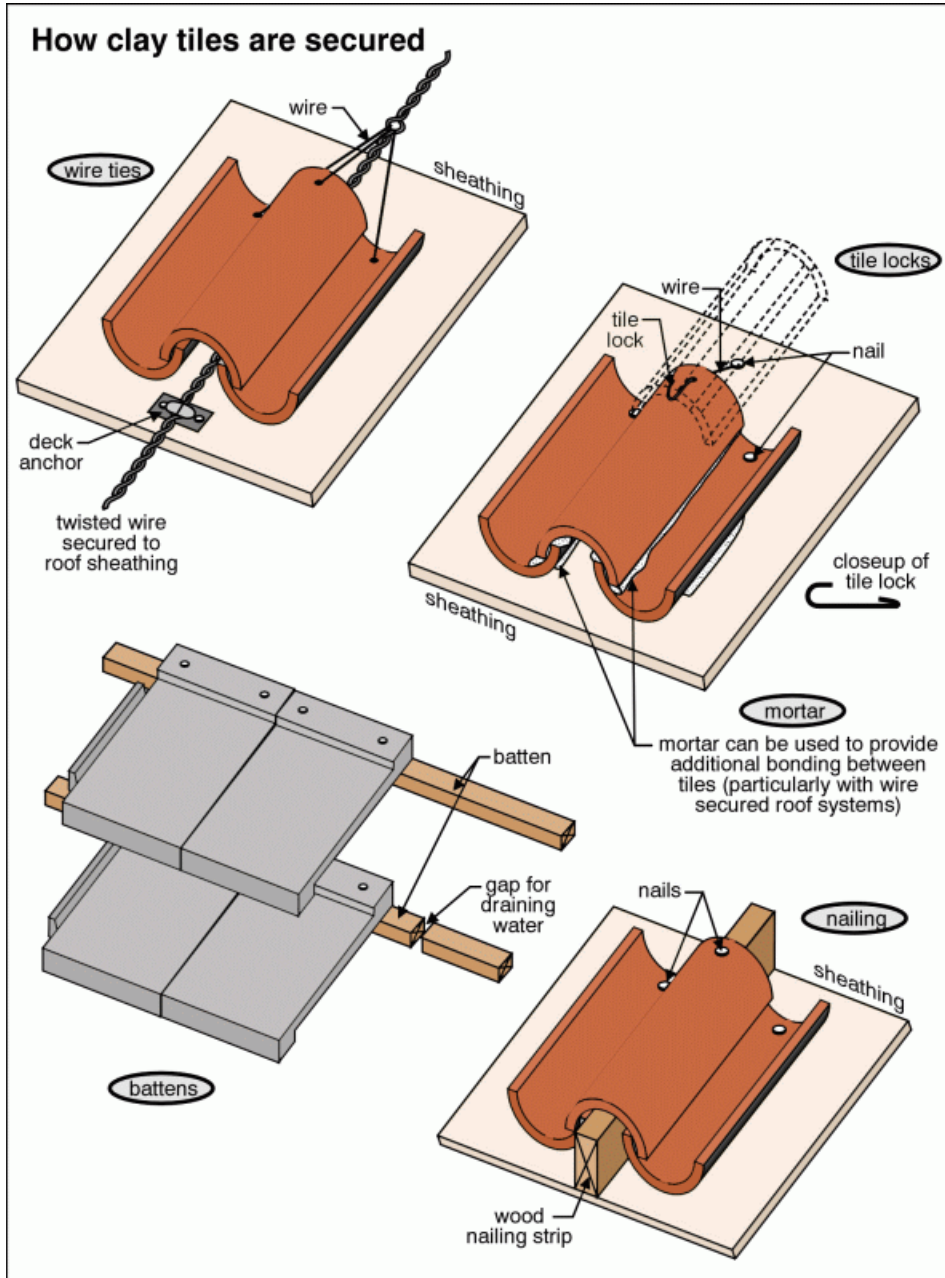
Condition: • [Exposed fasteners](#)

Exposed fasteners on the detached garage. Recommend sealing to keep water from deteriorating the fasteners faster than normal.

Location: Detached Garage

Task: Improve

Time: Soon as possible



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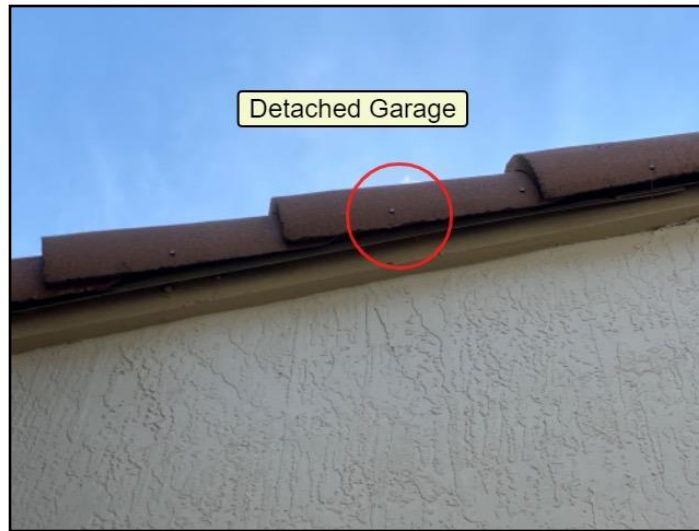
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20. *Exposed fasteners not sealed*

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Description

General:

• The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



21. The home inspector shall observe: Wall...



22. The home inspector shall observe: Wall...

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23. The home inspector shall observe: Wall...



24. The home inspector shall observe: Wall...



25. The home inspector shall observe: Wall...



26. The home inspector shall observe: Wall...

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27. The home inspector shall observe: Wall...

Gutter & downspout material:

- [Aluminum](#)



28. The home inspector shall observe: Wall...

Downspout discharge: • [Above grade](#)

Lot slope: • [Away from building](#)

Wall surfaces and trim: • [Stucco](#)

Driveway: • Pavers

Walkway: • Pavers

Garage:

- Attached

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29. Attached

- Detached



30. Detached

Garage vehicle doors: • Present

Garage vehicle door operator:

- Present

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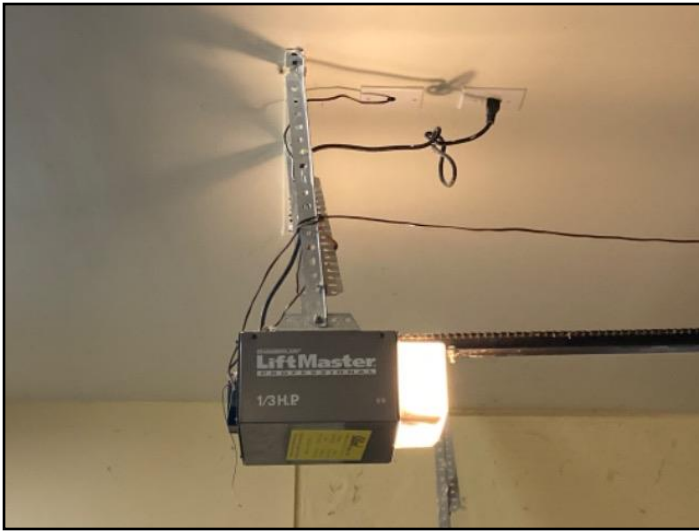
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31. Present



32. Present



33. Present

Limitations

Inspection limited/prevented by: • Storage • Storage in garage • Vines/shrubs/trees against wall • Carpet

Exterior inspected from: • Ground level

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Recommendations

ROOF DRAINAGE \ Downspouts

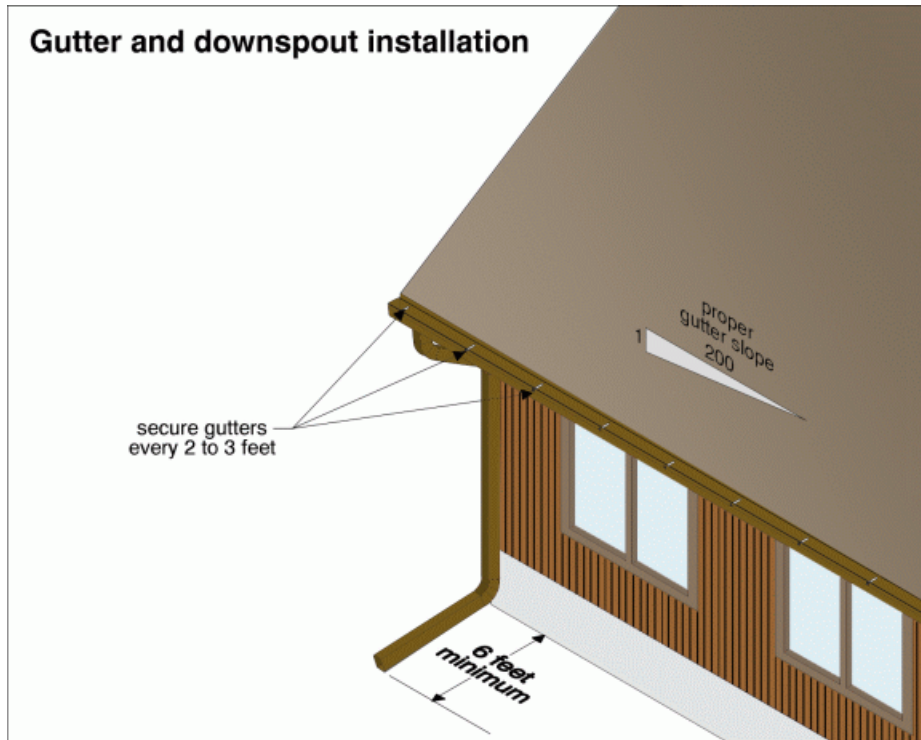
Condition: • [Discharge too close to building](#)

Downspout discharges too close to the building. Today's standards generally recommend that water should be diverted 10 ft. away from the house foundation. Recommend adding a splash block so that the water from the downspout can travel away from the building.

Location: Southeast Exterior Wall

Task: Improve

Time: Discretionary



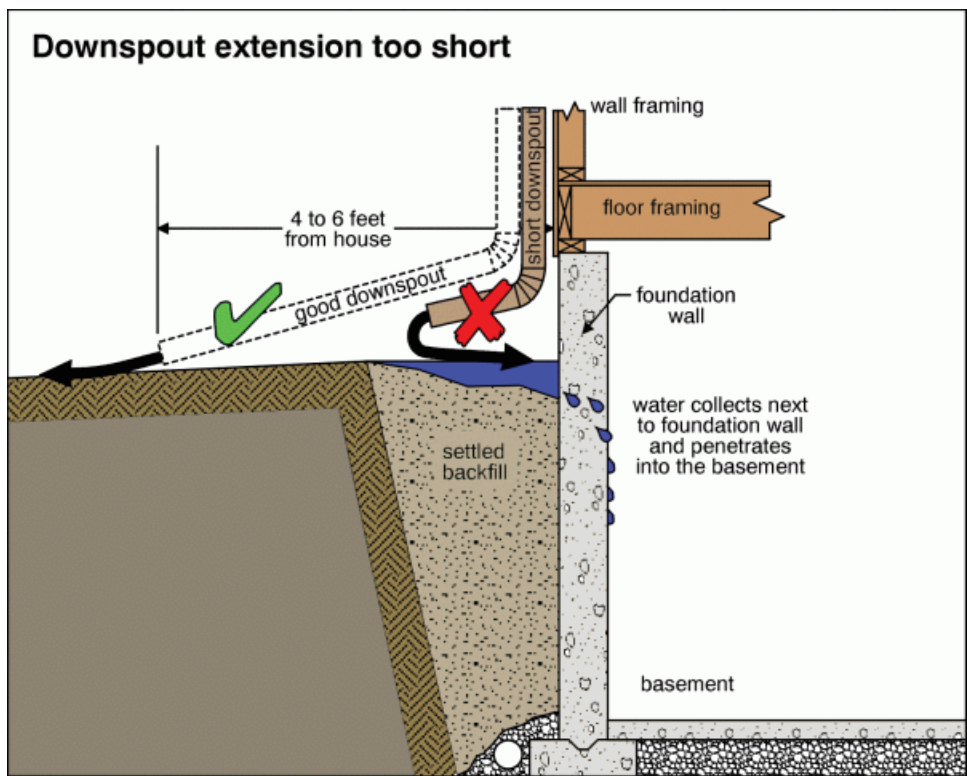
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34. The home inspector shall observe: Wall...



35. The home inspector shall observe: Wall...

LANDSCAPING \ General notes

Condition: • [Trees or shrubs too close to building](#)

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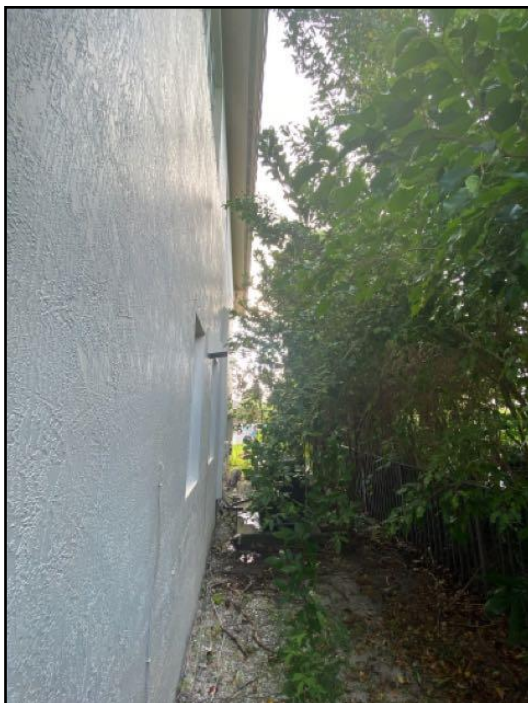
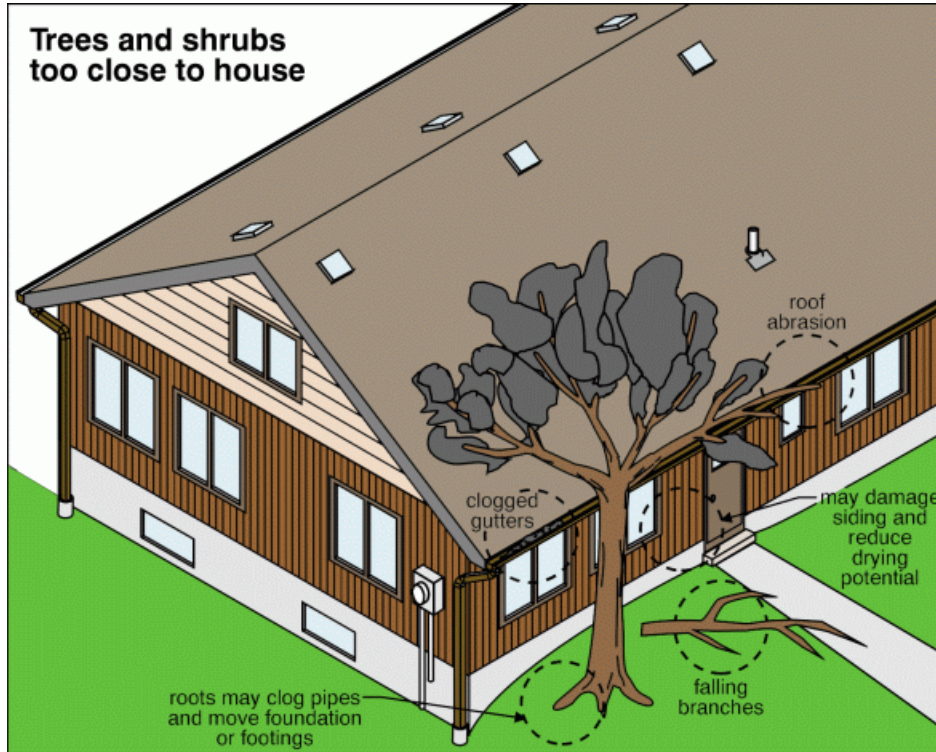
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Recommending removing/trimming of trees or scrubs that are close to the building to mitigate moisture intrusion and pest from the building. Areas where trees and scrubs are close to the building may cause deterioration of building materials faster than the norm.

Location: South Front Exterior Wall



36. The home inspector shall observe: Wall...



37. The home inspector shall observe: Wall...

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38. Trees or shrubs too close to building

LANDSCAPING \ Fence

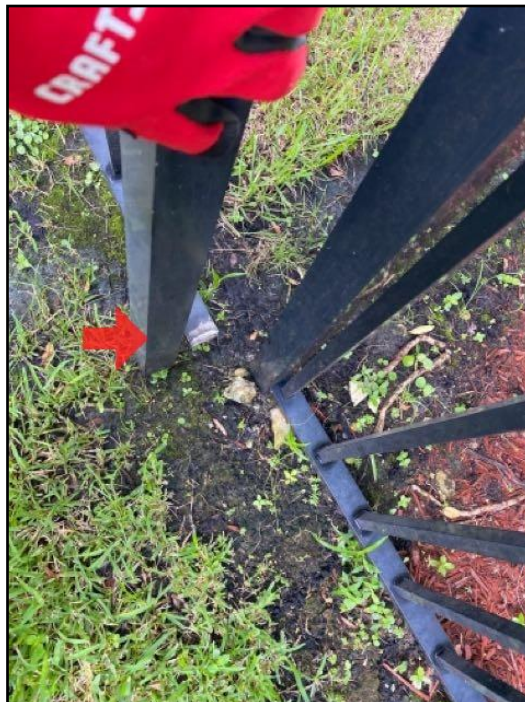
Condition: • Damage

Fence entry is damaged. Recommend repairing to secure properly.

Location: Northwest Yard

Task: Repair or replace

Time: Discretionary



39. The home inspector shall observe: Wall...

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General:

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40. The home inspector shall observe: Wall...



41. The home inspector shall observe: Wall...

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42. The home inspector shall observe: Wall...



43. The home inspector shall observe: Wall...



44. The home inspector shall observe: Wall...



45. The home inspector shall observe: Wall...

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46. The home inspector shall observe: Wall...



47. The home inspector shall observe: Wall...

Recommendations

ROOF FRAMING \ Rafters/trusses

Condition: • Wasp nest observed in the attic. Recommend removal.

Location: Southeast Attic

Task: Remove

Time: Immediate



48.

Condition: • Observed T-bracing installed on trusses. Installation does not appear to be correct. No contact made on each end of the T-Brace/Trusses between the rafter and the ceiling joint. Recommend requesting disclosure for when and why T-Bracing was installed and further evaluation by a licensed roof to confirm installation is correct.

Location: Attic

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Task: Request disclosure

Time: Immediate



49.



50.



51.

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Description

General:

• The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and presence of smoke and carbon monoxide detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



52. The home inspector shall observe: Service...



53. The home inspector shall observe: Service...

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54. The home inspector shall observe: Service...



55. The home inspector shall observe: Service...



56. The home inspector shall observe: Service...



57. The home inspector shall observe: Service...



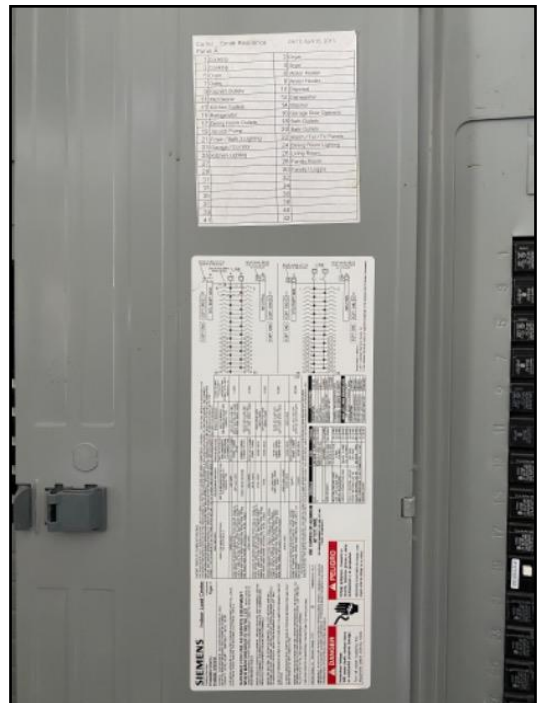
58. The home inspector shall observe: Service...



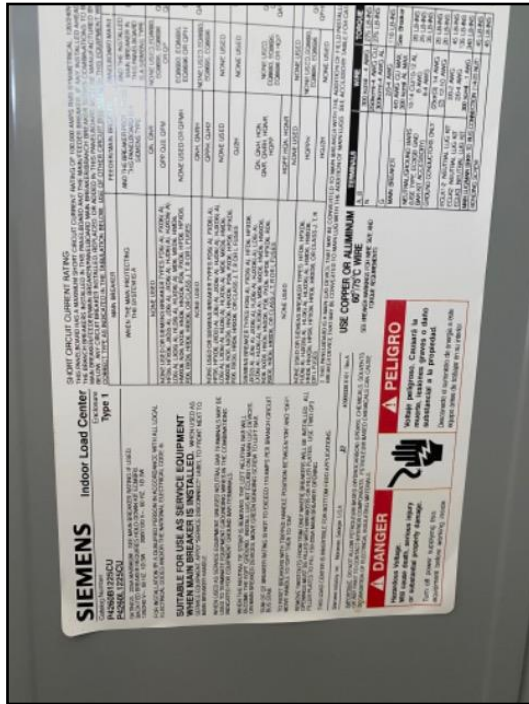
59. The home inspector shall observe: Service...



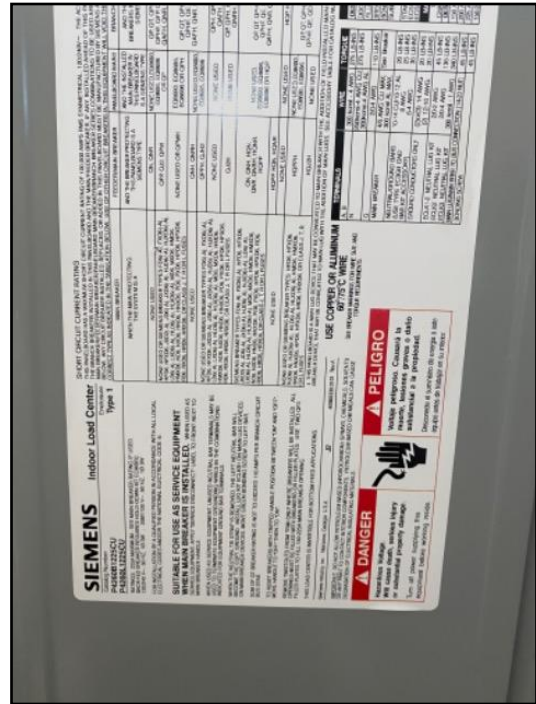
60. The home inspector shall observe: Service...



61. The home inspector shall observe: Service...



62. The home inspector shall observe: Service...



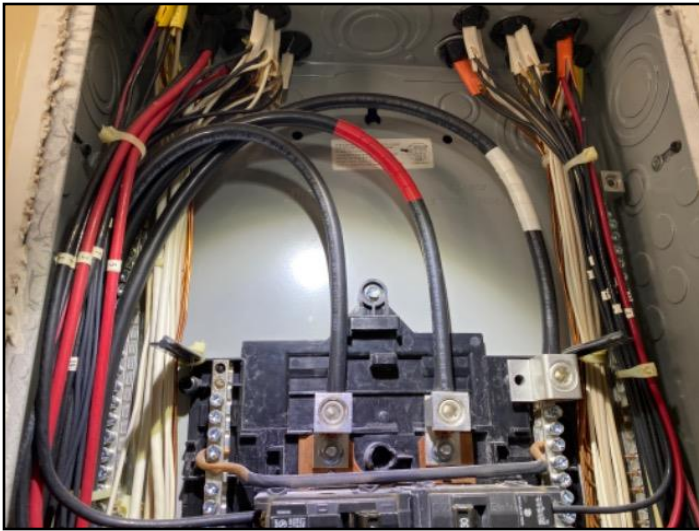
63. The home inspector shall observe: Service...



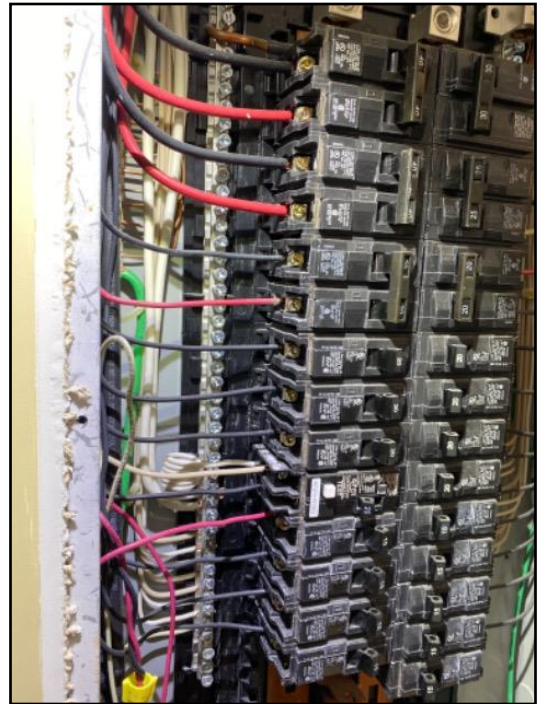
64. The home inspector shall observe: Service...



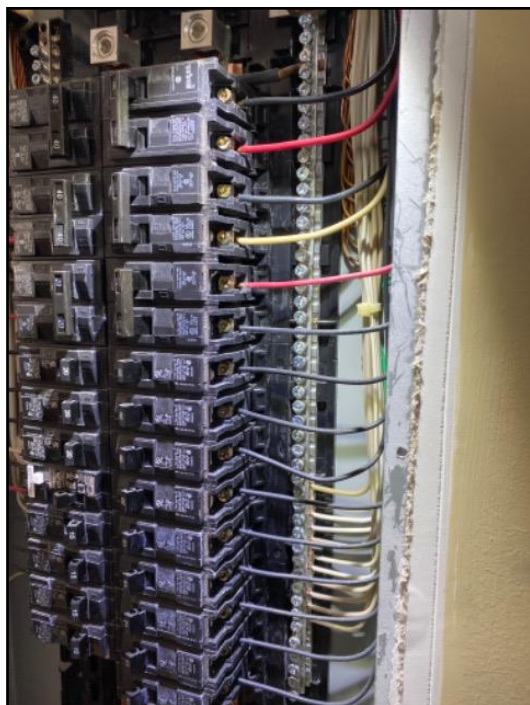
65. The home inspector shall observe: Service...



66. The home inspector shall observe: Service...



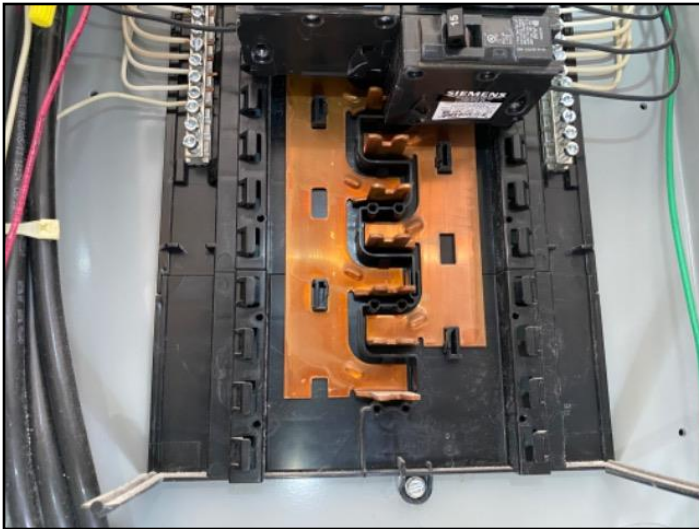
67. The home inspector shall observe: Service...



68. The home inspector shall observe: Service...



69. The home inspector shall observe: Service...



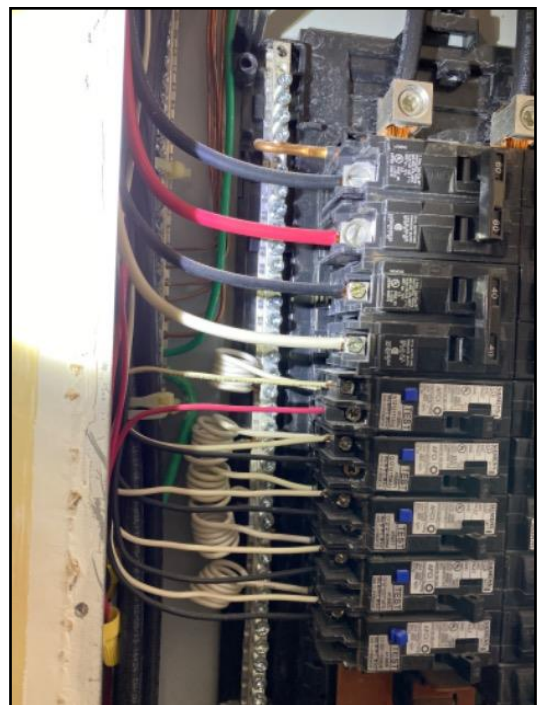
70. The home inspector shall observe: Service...



71. The home inspector shall observe: Service...



72. The home inspector shall observe: Service...



73. The home inspector shall observe: Service...



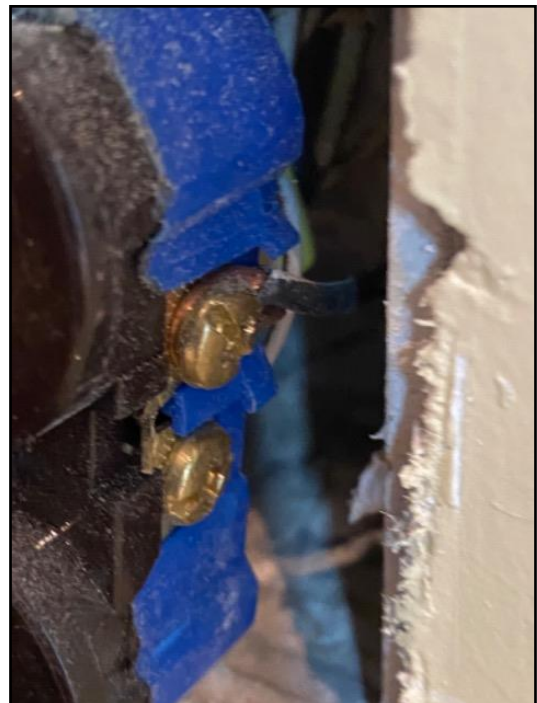
74. The home inspector shall observe: Service...



75. 1st Floor Outlet - Westside



76. 2nd Floor Outlet - Eastside



77. 2nd Floor Outlet - Eastside

ELECTRICAL

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78. 2nd Floor Outlet - Eastside



79. 2nd Floor Outlet - Eastside



80. 1st Floor Outlet - Westside

Service size: • [150 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - exterior wall](#)

Distribution panel type and location: • Breakers - Garage

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Recommendations

DISTRIBUTION SYSTEM \ Junction boxes

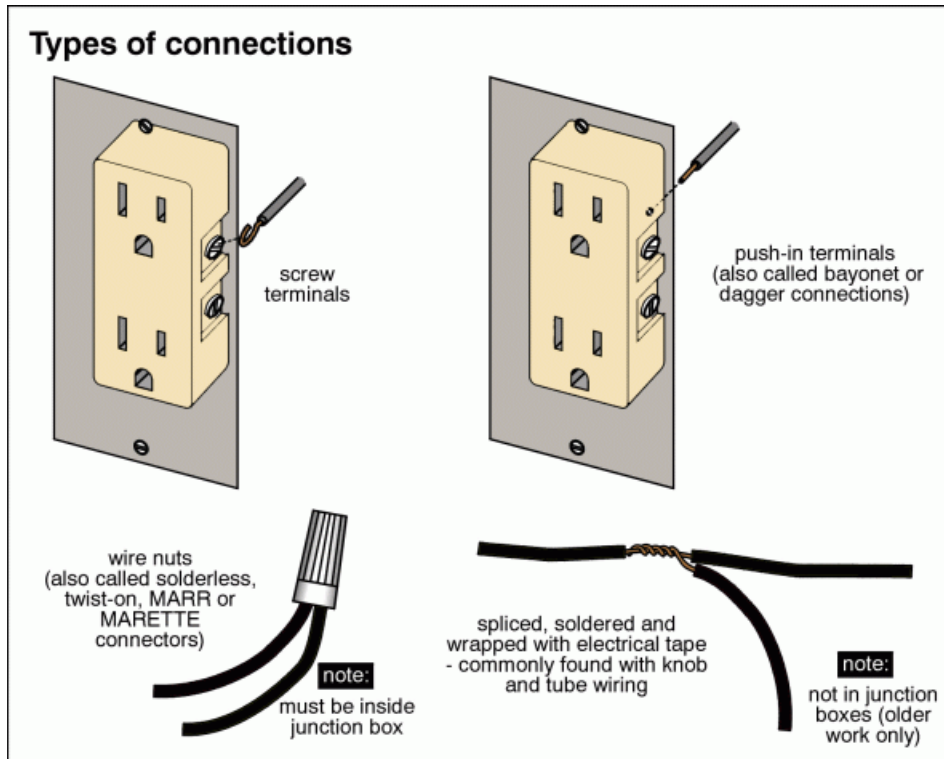
Condition: • [Missing](#)

Missing covers, recommend replacing to remove risk for electrical shock/fire hazard.

Location: Utility Room

Task: Replace

Time: Immediate





81. The home inspector shall observe: Service...

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Electrical cords are exposed to water intrusion. Recommend seeking a more permanent solution for the wiring to be protected. Seek assistance of an licensed electrician if needed for evaluation.

Implication(s): Fire Hazard

Task: Improve

Time: Immediate



82. The home inspector shall observe: Service...



83. The home inspector shall observe: Service...

DISTRIBUTION SYSTEM \ Switches

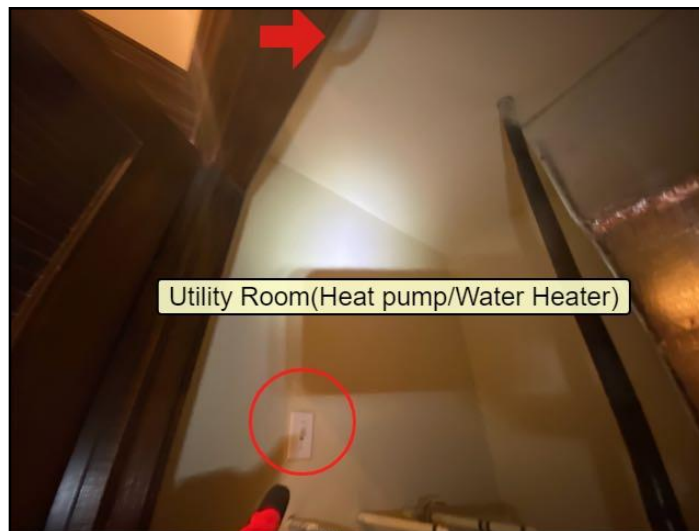
Condition: • [Inoperative](#)

Inadequate lighting in the utility closet on the first floor. Recommend repair to improve visibility when servicing the units.

Location: First Floor Utility Closet

Task: Repair or replace

Time: As soon as possible



84. The home inspector shall observe: Service...

DISTRIBUTION SYSTEM \ Lights

Condition: • Recommend caulking behind outdoor light fixtures to keep water from entering the fixtures.

Implication(s): Fire Hazard

Task: Improve

Time: When necessary



85. The home inspector shall observe: Service...

DISTRIBUTION SYSTEM \ Smoke alarms (detectors)

Condition: • Missing

Recommend replacing missing smoke alarms. Safety issue.

Location: First Floor Kitchen

Task: Replace

Time: Immediate



86. *Missing*

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • None observed

Location: Throughout

Task: Improve

Time: Discretionary

HEATING

8309 Northwest 123rd, Parkland, FL August 28, 2020

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www.ggrhomeinspections.com

SUMMARY

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Description

General: • The home inspector shall observe permanently installed heating systems including: Heating equipment; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

System type: • [Heat pump](#)

Fuel/energy source: • [Electricity](#)

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • Not determined

Combustion air source: • Interior of building

Approximate age: • [8 years](#)

Location of the thermostat for the heating system: • Hallway • First Floor • Second Floor

Description

General: • The home inspector shall observe: Central air conditioning and permanently installed cooling systems including: Cooling and air handling equipment; and Normal operating controls. Distribution systems including: Fans, pumps, ducts and piping, with associated supports, dampers, insulation, air filters, registers, fan-coil units; and The presence of an installed cooling source in each room. The home inspector shall describe: Energy sources; and Cooling equipment type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Observe window air conditioners or operate cooling systems when weather conditions or other circumstances may cause equipment damage.

Air conditioning type:

- Central

Service Disconnects for air compressors are present. One unit missing cover plate for wires.



87. Service Disconnects Present



88. Central



89. Central



90. Central

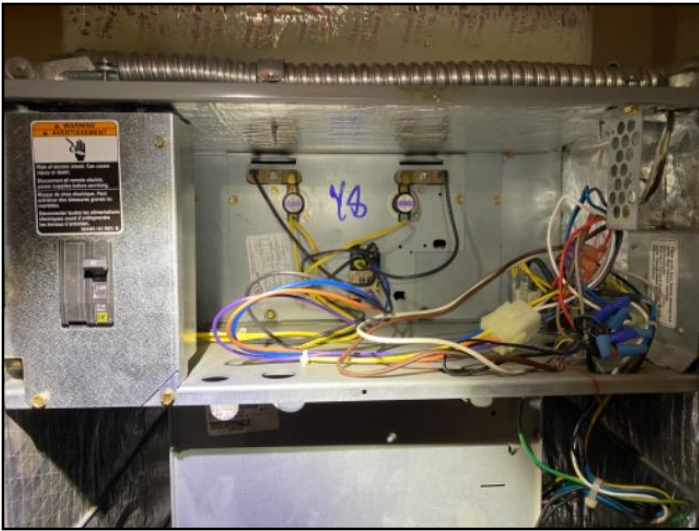
COOLING & HEAT PUMP

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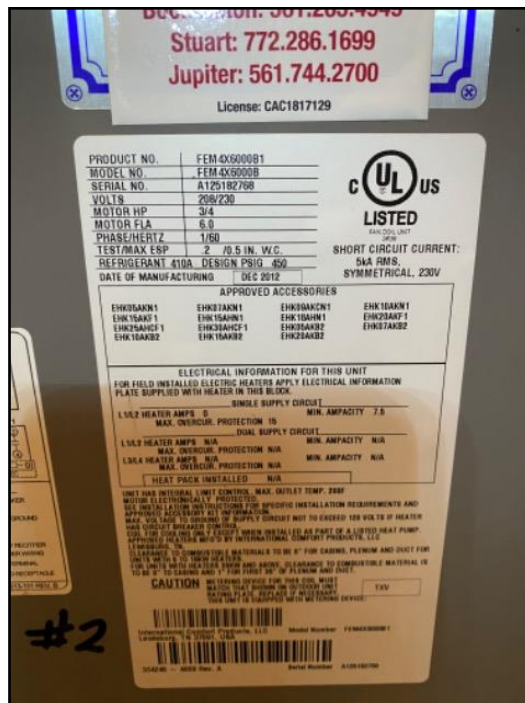
- SUMMARY
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95. Central-2nd Flr



96. Central-2nd Flr



97. Central-2nd Flr

Compressor type: • Electric

Compressor approximate age: • 7 years

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Typical life expectancy: • 12 to 15 years

Supply temperature:

• 55°



98. 55° - Supply Temp (1st Flr)



99. 77° - Return Temp (1st Flr)



100. 57° - Supply Temp (2nd Flr)



101. 71° - Return Temp (2nd Flr)

Location of the thermostat for the cooling system: • Hallway • First Floor • Second Floor

Recommendations

AIR CONDITIONING \ General notes

Condition: • Service air conditioner

Recommend servicing ac units. Dirt/debris building on the units.

Task: Service

Time: Regular maintenance



102. Service air conditioner

AIR CONDITIONING \ Evaporator coil

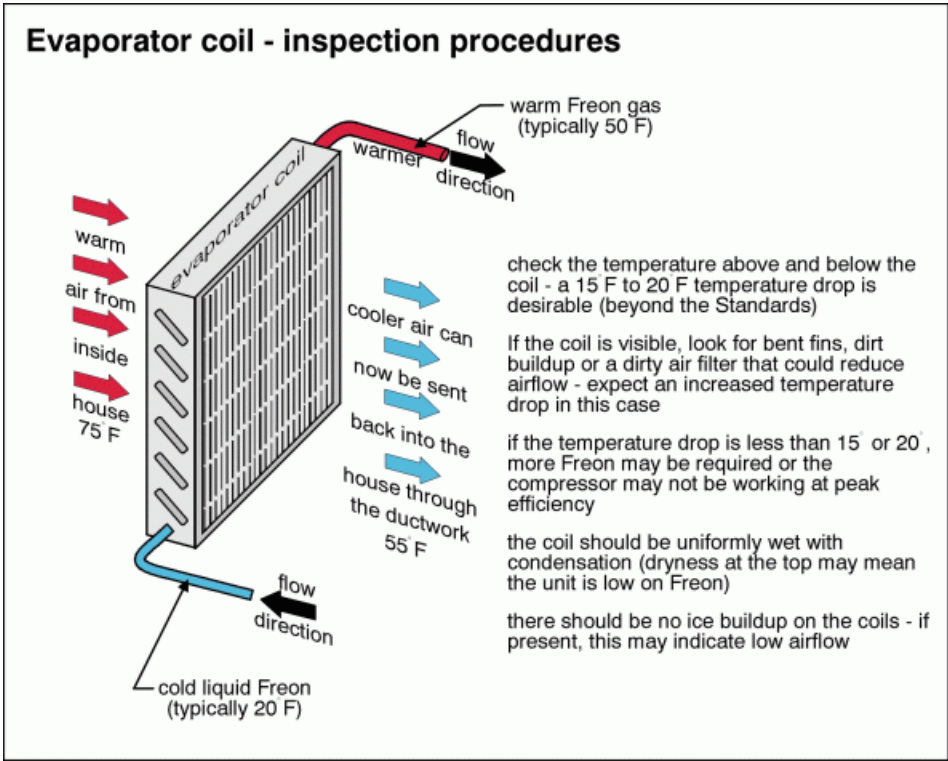
Condition: • [Dirty](#)

1st Floor Air Handler: Inside of unit is dirty and has presence of microbiological growth. Recommend cleaning, servicing and regular maintenance be conducted annually.

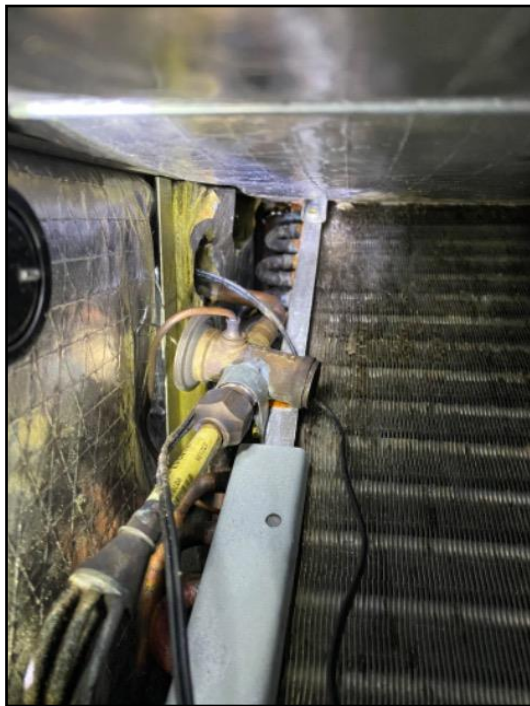
Location: First Floor

Task: Service Clean

Time: As soon as possible



103. Dirty



104. Dirty

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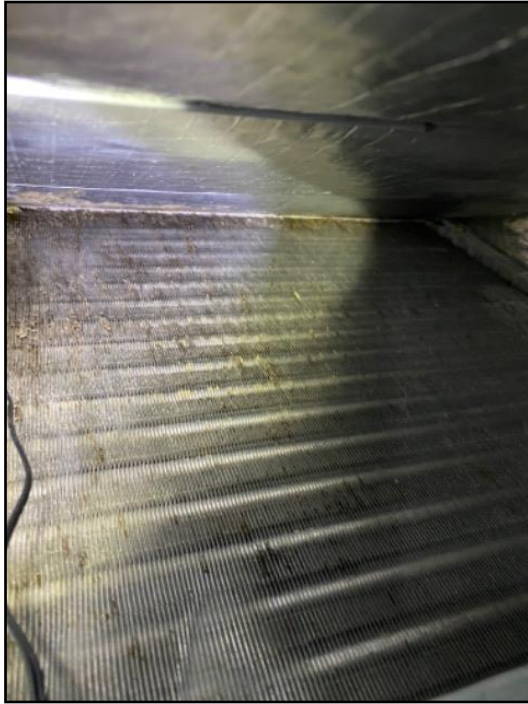
COOLING

INSULATION

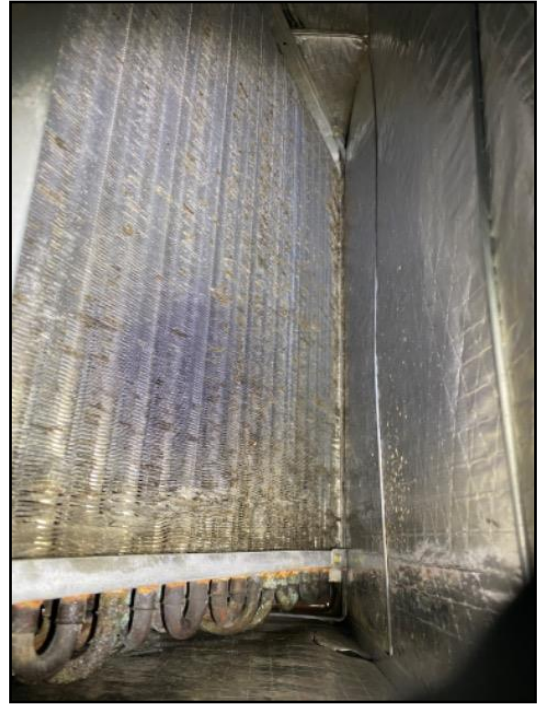
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105. Dirty



106. Dirty



107. Dirty

Condition: • [Dirty](#)

2nd Floor Air Handler: Inside of unit is dirty and has presence of microbiological growth. Recommend cleaning, servicing and regular maintenance be conducted annually.

Location: Second Floor

Task: Service Clean

Time: Immediate

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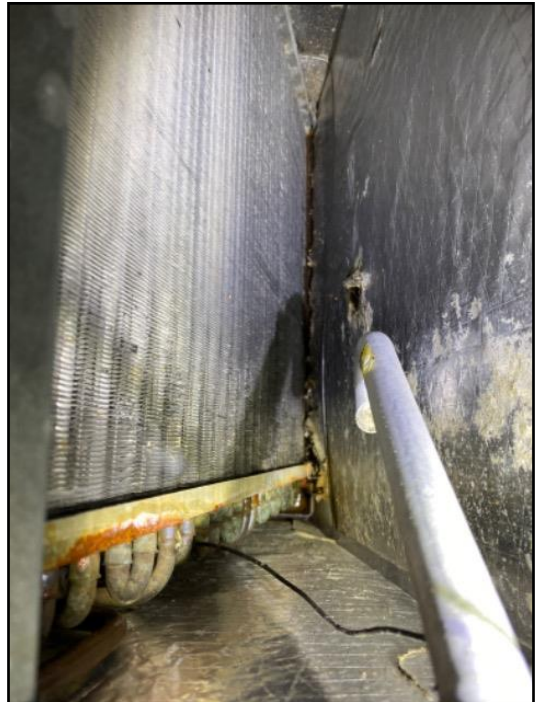
108. Service air conditioner



109. Service air conditioner



110. Service air conditioner



111. Service air conditioner

COOLING & HEAT PUMP

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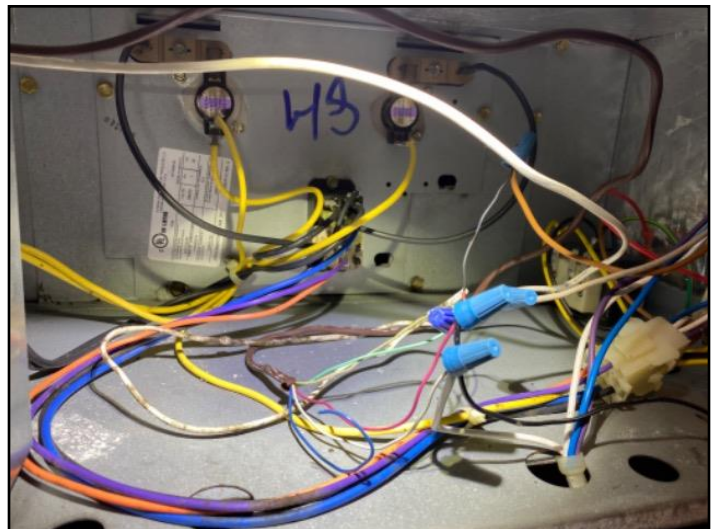
112. Service air conditioner



113. Service air conditioner



114. Service air conditioner



115. Service air conditioner

COOLING & HEAT PUMP

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116. Service air conditioner

AIR CONDITIONING \ Refrigerant lines

Condition: • [Insulation - missing](#)

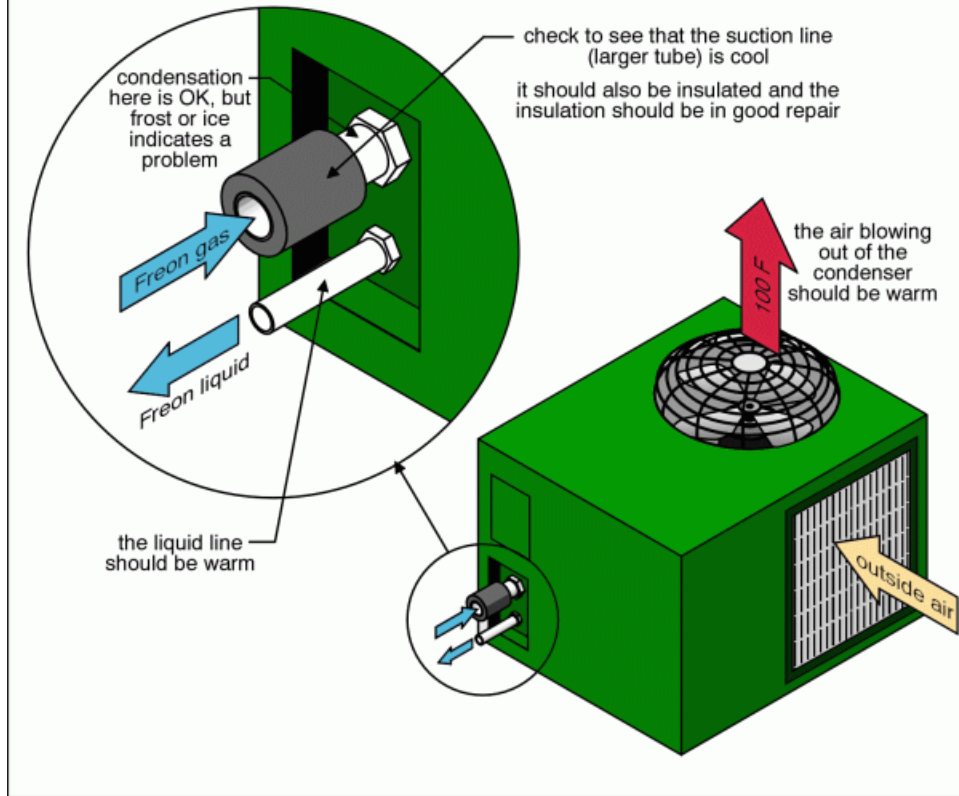
Insulation missing on the cold line. Recommend replacing to protect the the cold from damage.

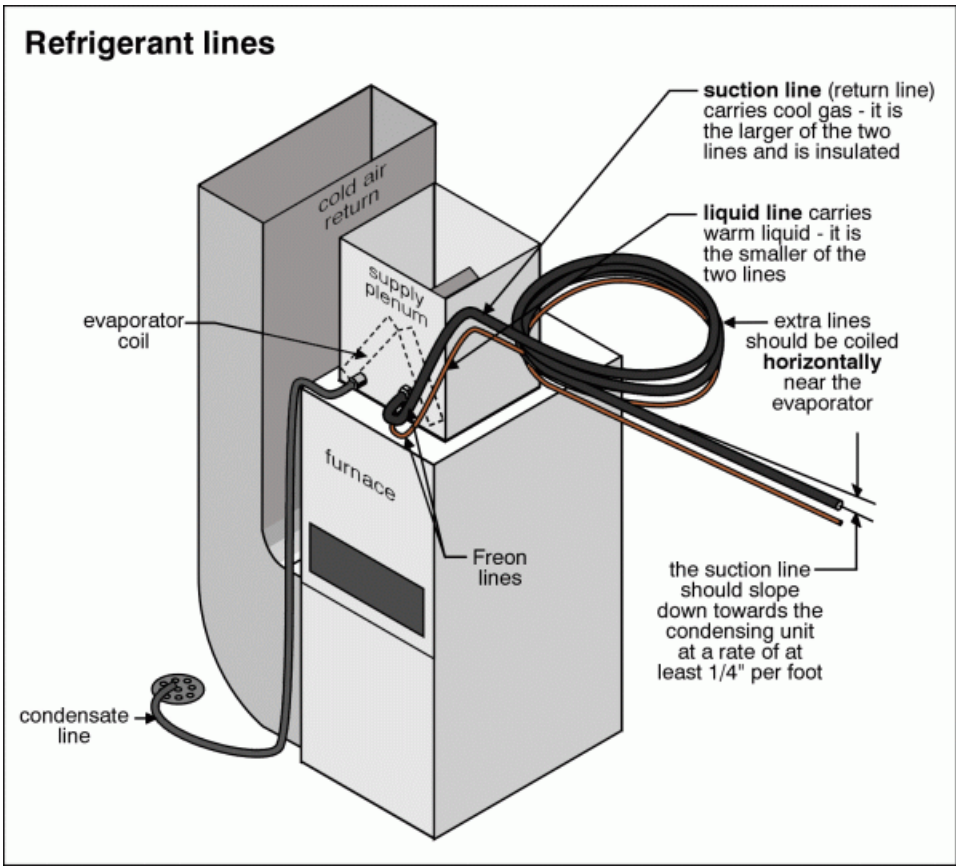
Location: South Exterior Wall

Task: Replace

Time: As soon as possible

Inspecting the condenser unit





117. Insulation - missing



118. Insulation - missing

AIR CONDITIONING \ Condenser fan

Condition: • Recommend servicing for air compressor and regular maintenance annually.

Task: Monitor Service

Time: Regular maintenance



119. Rust on Fan Motor



120. No Rust on Fan Motor

AIR CONDITIONING \ Ducts, registers and grilles

Condition: • [Dirty](#)

Dirt/Debris around the air vent in the hallway bathroom. Recommend cleaning.

Location: Second Floor Hallway Bathroom

Task: Clean

Time: As soon as possible



121. Dirty

INSULATION AND VENTILATION

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Description

General: • The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • [R-28](#)

Attic/roof air/vapor barrier: • [None found](#)

Attic/roof ventilation: • [Soffit vent](#)

Wall insulation amount/value: • Not visible

Floor above basement/crawlspace insulation amount/value: • Not visible

Limitations

Attic inspection performed: • By entering attic, but access was limited

Recommendations

ATTIC/ROOF \ Insulation

Condition: • [Gaps or voids](#)

Insulation has been moved from its original installation in multiple areas. Recommend replacing or adding insulation to these areas to mitigate conditioned air escaping to the attic or hot air into the home.

Location: Throughout Attic

Task: Improve

Time: As soon as possible

INSULATION AND VENTILATION

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122. Gaps or voids

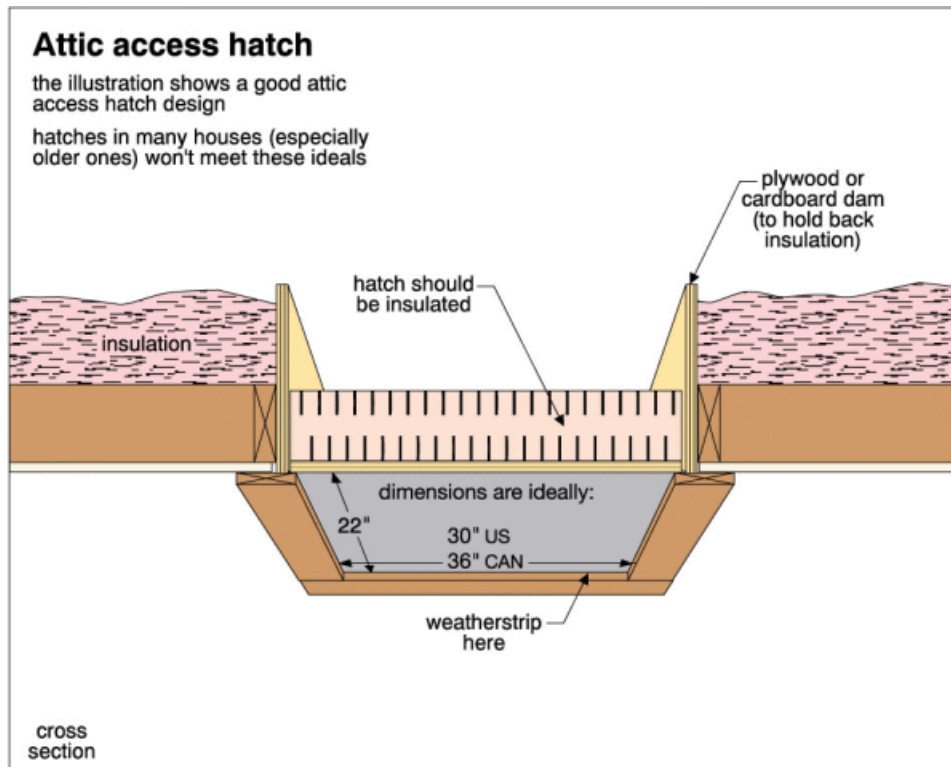
ATTIC/ROOF \ Hatch/Door

Condition: • [Not insulated and not weatherstripped](#)

Location: Second Floor Hallway Closet

Task: Improve

Time: Discretionary



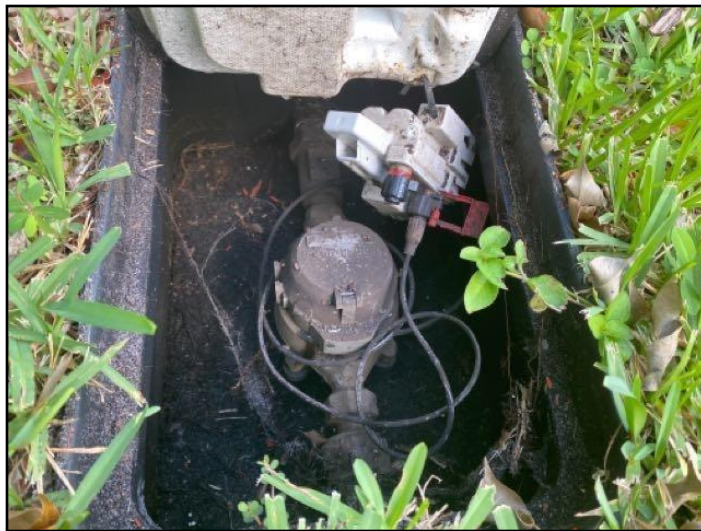
Description

General:

• The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



123. Left Side of Driveway



124. Main Water Valve

PLUMBING

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125. Main Water Valve



126. 60 PSI



127. The home inspector shall observe: Interior...



128. The home inspector shall observe: Interior...

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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129. The home inspector shall observe: Interior...



130. The home inspector shall observe: Interior...



131. The home inspector shall observe: Interior...



132. The home inspector shall observe: Interior...



133. The home inspector shall observe: Interior...



134. The home inspector shall observe: Interior...

Supply piping in building: • [Not visible](#)

Main water shut off valve at the: • Left Side of Driveway

Water flow and pressure: • [Typical for neighborhood](#)

Water heater type:

- Tank



135. Tank



136. Tank



137. Tank

Water heater manufacturer: • Rheem

Water heater tank capacity: • 50 gallons

Water heater approximate age: • 7 years

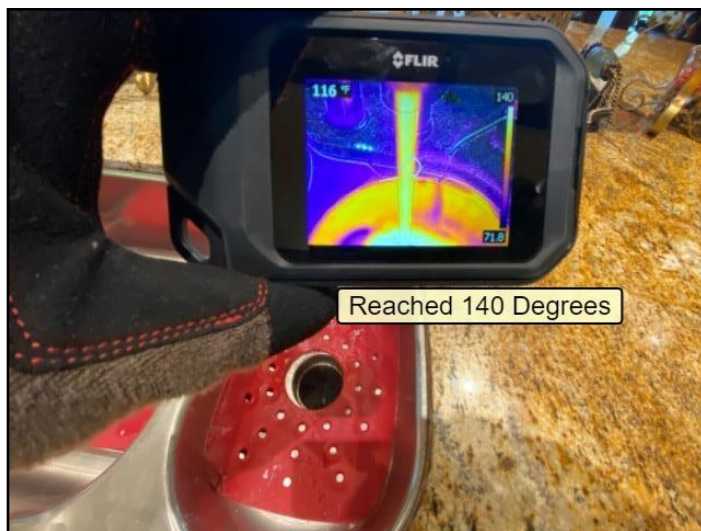
Water heater typical life expectancy: • 10 to 15 years

Water heater failure probability: • [Low](#)

Hot water temperature (Generally accepted safe temp. is 120° F):

• 135° F

Recommend adjusting temperature to prevent risk to burning.



138. 135° F

Waste and vent piping in building: • [PVC plastic](#) • [Copper](#)

Limitations

Items excluded from a building inspection:

- Isolating/relief valves & main shut-off valve
- Concealed plumbing
- Tub/sink overflows
- Water heater relief valves are not tested
- The performance of floor drains or clothes washing machine drains
- Spa
- Landscape irrigation system



139. Landscape irrigation system



140. Landscape irrigation system

- Items excluded from a building inspection: • Cleaning System



141.

Recommendations

SUPPLY PLUMBING \ Water shut off valve

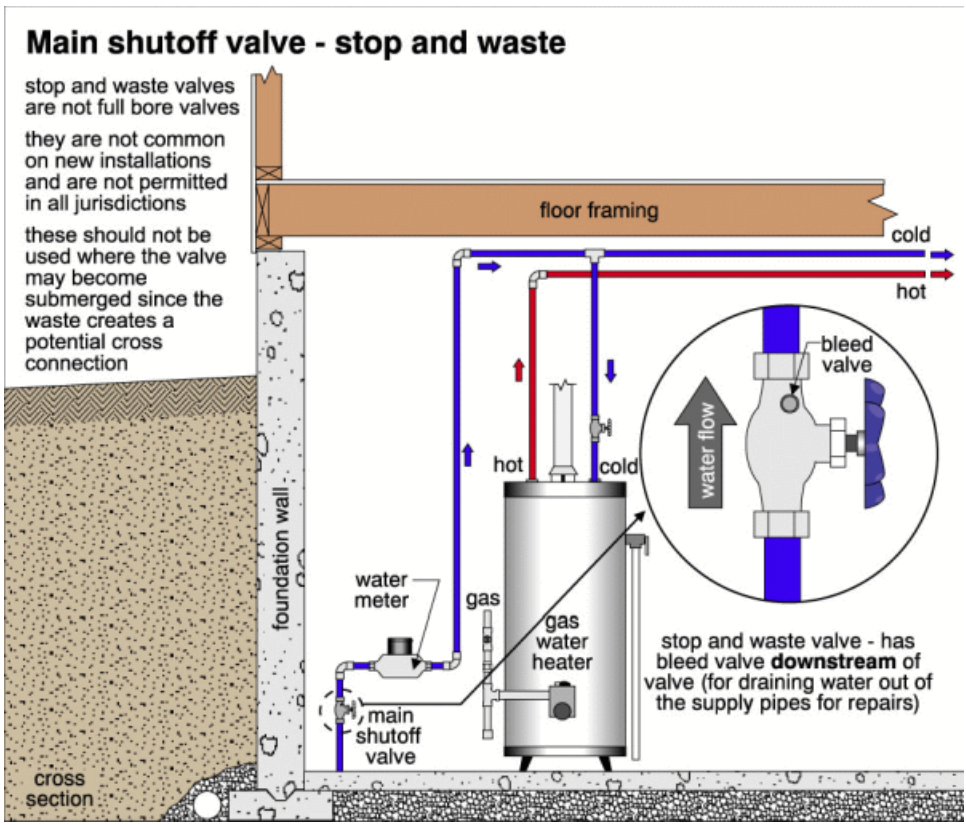
Condition: • [Leak](#)

Water meter may have a leak, area around the meter are dry while the corner of the meter has a wet area. Recommend monitoring and further evaluation.

Location: Left Side Driveway

Task: Further evaluation

Time: As soon as possible



142. Leak

FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

Condition: • [Leak or drip](#)
Bib is leaking. Recommend repair/replacement.

Location: Southeast Exterior Wall

Task: Repair or replace

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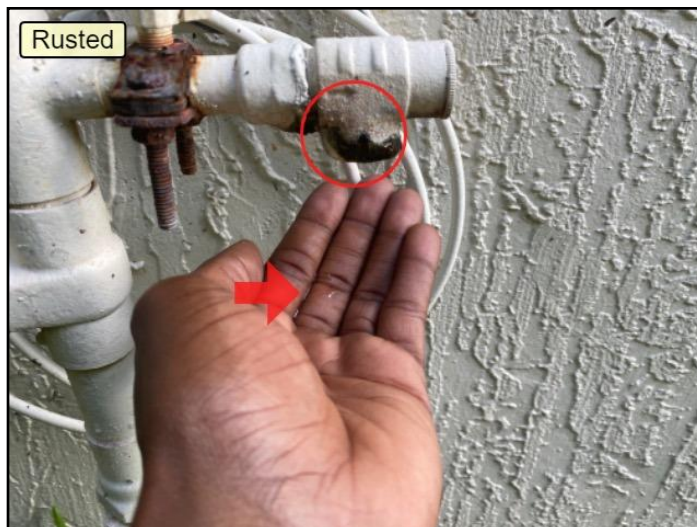
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Time: As soon as possible



143. Leak or drip

Condition: • [Inoperative](#)

Missing knob to allow proper functioning of the water bib. Recommend replacement.

Location: Southeast

Task: Repair or replace

Time: Discretionary



144. Inoperative

Condition: • [Damage](#)

Water hose bib is damaged. Recommend repairing the crack in the wall and replacing the bib is discretionary as it is still functional. The crack can allow water intrusion into the wall and should be repaired to mitigate.

Location: Northwest Exterior Wall

Task: Repair or replace

Time: When necessary



145. *The home inspector shall observe: Wall...*

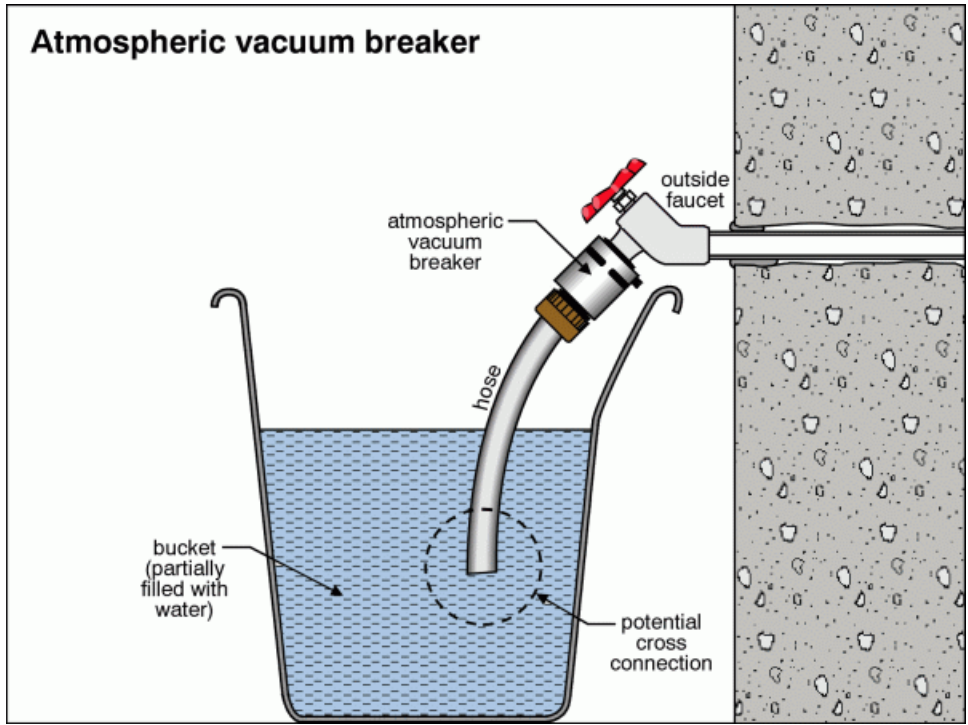
Condition: • [Backflow prevention missing](#)

Recommend installing anti-syphon filter to prevent back flow into plumbing system.

Location: Throughout Exterior Wall

Task: Improve

Time: Discretionary



146. Backflow prevention missing

FIXTURES AND FAUCETS \ Faucet

Condition: • Loose

Handle is loose. Recommend repair to ensure fixture does not leak.

Location: Second Floor Master Bathroom

Task: Improve

Time: Discretionary



147. Loose

FIXTURES AND FAUCETS \ Toilet

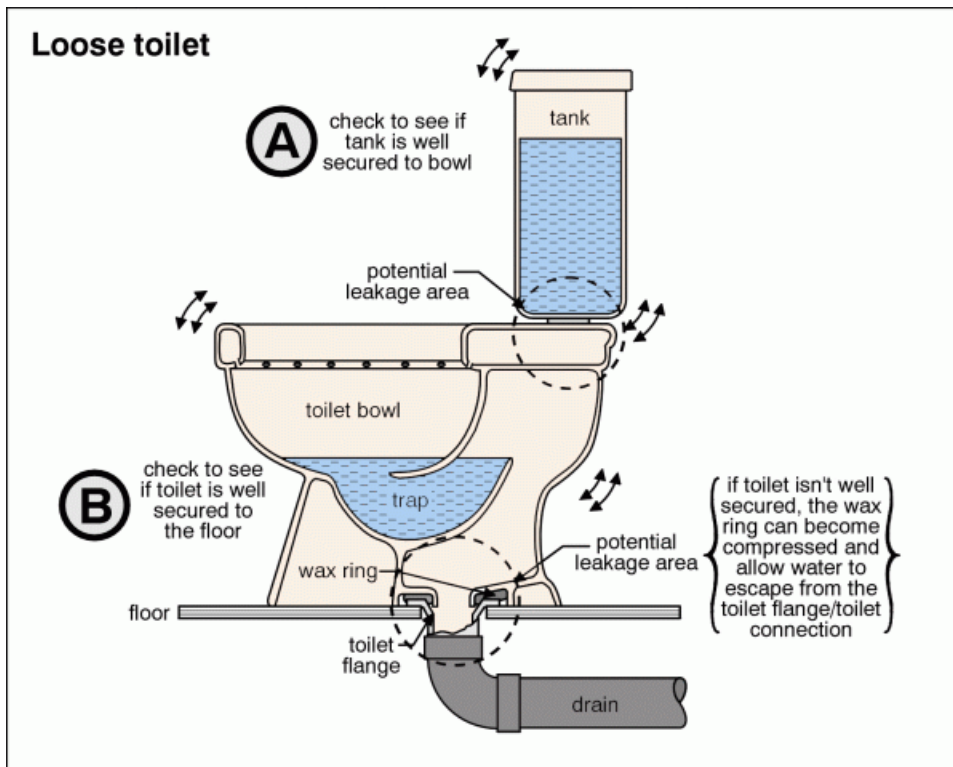
Condition: • [Loose](#)

Toilet was loose at the closet flanges. Recommend repairs or replacement be conducted by a licensed plumber if needed.

Location: Second Floor Master Bathroom

Task: Repair

Time: As soon as possible



PLUMBING

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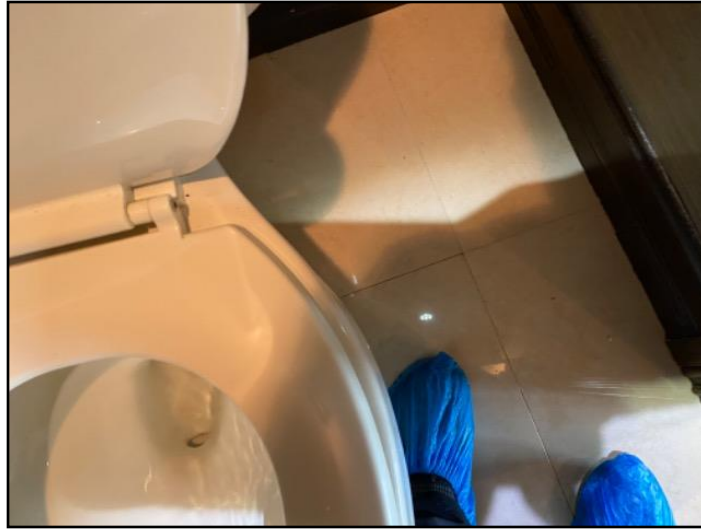
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148. *Loose*

Description

General:

• The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.



149. The home inspector shall observe: Walls,...



150. The home inspector shall observe: Walls,...



151. The home inspector shall observe: Walls,...



152. The home inspector shall observe: Walls,...

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153. The home inspector shall observe: Walls,...



154. The home inspector shall observe: Walls,...



155. The home inspector shall observe: Walls,...



156. The home inspector shall observe: Walls,...

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157. The home inspector shall observe: Walls,...



158. The home inspector shall observe: Walls,...

Major floor finishes: • [Hardwood](#) • Ceramic/porcelain

Major wall and ceiling finishes: • [Plaster/drywall](#)

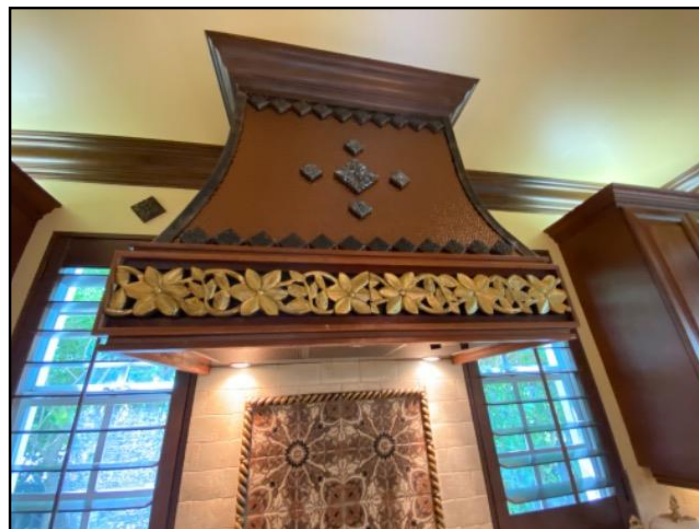
Windows: • [Single/double hung](#)

Exterior doors - type/material: • Hinged • [Sliding glass](#)

Laundry facilities: • Washer • Dryer

Kitchen ventilation:

• Range hood discharges to the exterior



159. Range hood discharges to the exterior

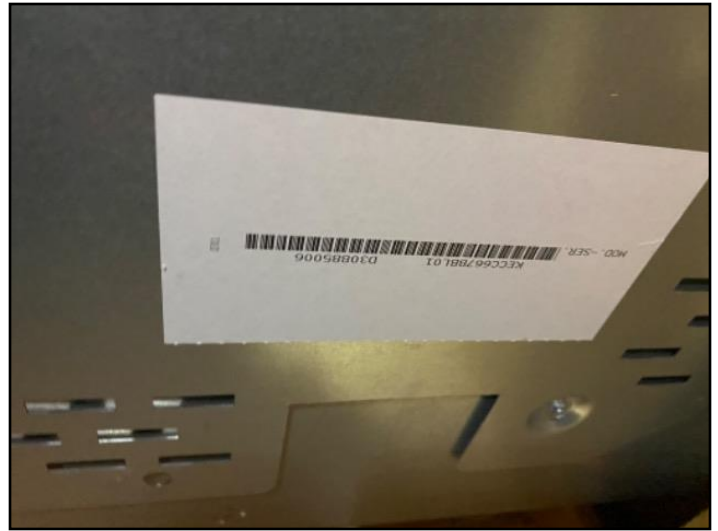
Laundry room ventilation: • Clothes dryer vented to exterior

Inventory Cooktop:

• KitchenAid



160. KitchenAid



161. KitchenAid



162. KitchenAid

Inventory Garbage disposal (food waste grinder):

- Whirlpool

Model number: GC5000XE2 Serial number: FNT020934

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163. Whirlpool

Inventory Dishwasher:

- KitchenAid

Model number: KUDS30FXSS9 Serial number: F31602747



164. KitchenAid



165. KitchenAid

Inventory Dryer:

- Samsung

Model number: DV422EWHDR/AA Serial number: Y6985AECA02114N

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169. KitchenAid



170. KitchenAid

Inventory Wall Oven:

- Whirlpool

Model number: KEMS309BSS00 Serial number: D31379329



171. Whirlpool



172. Whirlpool



173. Whirlpool



174. Whirlpool

Inventory Washing Machine:

- Samsung

Model number: WA422PRHDWR/AA 01 Serial number: Y0IY5AED300898J



175. Washer



176. Washer



177. Washer

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

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» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS